

West Greenville MASTER PLAN



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Speak your mind.



**We're
Listening**



The Community Development Division of the City of Greenville gratefully acknowledges the residents and stakeholders who were an active part of the planning process for the West Greenville Master Plan.

Note: *The Pendleton Area and certain development projects were added to the West Greenville Master Plan as a direct result of Market Study for Dunbar Street, Academy Street, and West Greenville; therefore, maps and renderings do not reflect this area. This does not, however, diminish their importance to the success of the West Greenville Master Plan, nor should their later inclusion create the perception that they are less important developments.*

SECTION I: SUMMARY & RECOMMENDATIONS

A. Project Goals

The West Greenville neighborhood has the potential to be one the City of Greenville's most desirable places to live. The area can become an inviting, supportive, and safe place in which Greenvillians want to live and raise their children. Moreover, improving the neighborhood can become a catalyst for adjoining neighborhoods on the western side of the City of Greenville.

The West Greenville Master Plan was developed through a comprehensive and inclusionary planning process through the City of Greenville's Community Development Division during the year-long period of October 2001 and October 2002. The purpose of this Master Plan is to achieve the redevelopment of the neighborhood as a mixed-income community of renters, home owners, community and recreational interests as well as neighborhood-based businesses that will enable West Greenville to become a more desirable place to live and raise a family.

Enabling West Greenville to fulfill this role—of a sustainable and sustaining community—is the foremost goal of the West Greenville Master Plan.

B. Planning Context

West Greenville is a 230-acre neighborhood is best conceptualized as five separate and distinct, but related subdistricts with mixed land uses. Each subdistrict provides a basis for detailed planning and recommendations.

C. Design Principles

The implementation of the West Greenville Master Plan will occur over many years. During this time, there are a number of basic planning and urban design principles that should guide future project-specific planning, design and implementation decision-making.

1. Reinforce neighborhood commercial along Pendleton Street.
2. Increase density in the areas of the neighborhood closest to the West Greenville Business District.
3. Increase the rate of homeownership from the current 23 percent to a minimum of 50 percent.
4. Add to and upgrade the existing amenities of the neighborhood.
5. Create potential private, non-profit and public-private partnership development opportunities throughout the neighborhood.
6. Link the neighborhood to the West End, Downtown, and the Reedy River Corridor.
7. Improve the quality of life for residents through targeted social service programs.



The West Greenville Business District on Pendleton Street



Multi-Family Housing on Lawton Avenue

West Greenville Area



D. West Greenville Master Plan

The West Greenville Master Plan is fundamentally based upon the idea of improving the quality of life in West Greenville and increasing housing density and homeownership to support future and existing neighborhood commercial areas while maintaining distinct identities in each of the subdistricts. Recommended improvements for each subdistrict include:

Joe Louis

The Joe Louis Subdistrict is the part of West Greenville needing the most immediate action due to high crime, a large number of deteriorated housing units, a lack of infrastructure, and a very low quality of life. By extending Endel Street to Hanover Street, extending Joe Louis Street to Queen Street, making Chester Street into a cul-de-sac, by creating a pocket park on Endel Street, and by removing and replacing substandard units with affordable renter and owner-occupied housing this subdistrict becomes an



Bethel Bible Missionary Church on Bob Street



Boarded House at 401 Birnie Street

open and accessible micro-community with a strong sense of place.

This master plan recommends a large component of the development be new single-family, owner-occupied housing units, including along Endel and Chester Streets. New multi-family and single-family units should be constructed on Queen, Joe Louis and the southern side of Endel Street. This new housing will drastically change the face of the neighborhood from the blighted and disadvantaged area of today to new, family-oriented residential area. Additionally, a number of house rehabilitations and infill houses are also recommended throughout the Joe Louis Subdistrict.

Julian-Doe

The Julian-Doe subdistrict is ideally located to develop as a relatively dense residential area. With close proximity to four Greenville Transit Authority bus lines, the West Greenville Business District, and other businesses on Pendleton Street, Julian-Doe has the potential to become a transit-oriented, urban community by applying the maximum allowable density and a premium of commercial and neighborhood services.

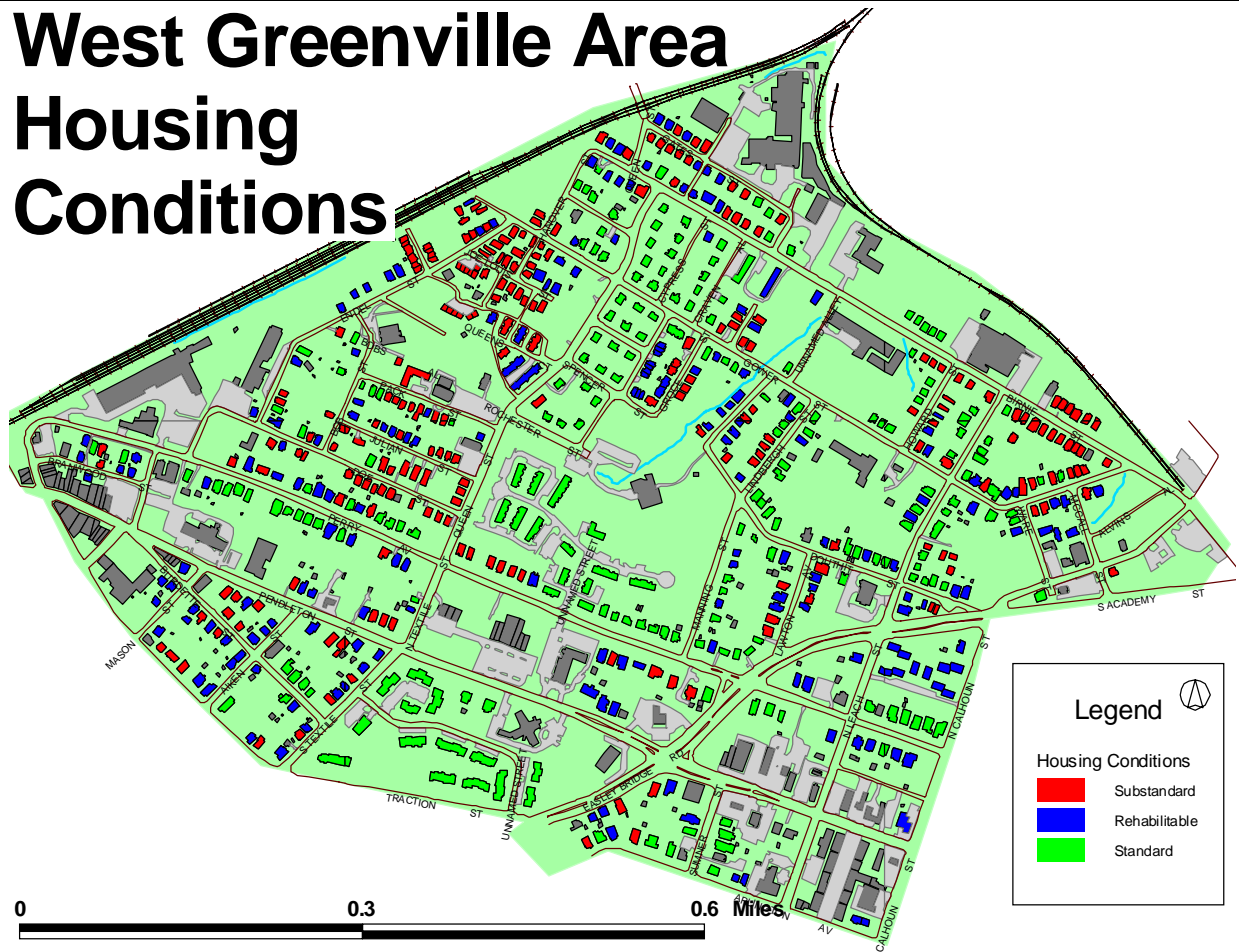
This plan develops the Julian-Doe area as a mixed-income residential community, weaving various types of higher-density housing styles in with the existing single and multi-family units, including four distinct projects that will anchor the subdistrict. The Place @ Perry and Branwood Townhomes both add row house and high-density courtyard housing to the area while Queen Commons I bring owner-occupied single-family attached housing and Queen Commons II adds multi-family quadraplexes. These developments are coupled with both large and small scale infill development and housing rehabilitation. The plan also recommends increasing the walkability of the area and linkages between this subdistrict and the business district and the West Greenville Community Center.

Firehouse

With a large amount of vacant parcels and its close proximity to downtown Greenville, this stretch of residential units and community facilities along Academy Street should be upgraded to a mixed-income community of market rate and just below market rate single-family and multi-family housing with well-maintained open space linkages to the Reedy River and downtown Greenville.

The West Greenville Master Plan recommends the creation of a cul-de-sac single-family, owner-occupied development on the (to-be-developed) Union Court and the development of a pocket park and high-density multi-family housing at Alvins Alley. These two developments will have the character, location and marketability to achieve average and above average rents and sales prices. Other small-scale infill developments and housing

West Greenville Area Housing Conditions



rehabilitations will also add to the character of this subdistrict.

Harlem Square

The master plan recommends that the Harlem Square area develop as a special-use subdistrict with unique development types. Among these is a village-style setting for active seniors, an adaptive reuse of the Gower Street School, an infill development of single-family homes for young families, and high-density urban row houses. A key element for this subdistrict is the expansion of the West Greenville Park and the creation of a new park/open space area near Gower Street School.

With a large number of long-time residents now entering their “golden years,” the development of supportive housing for independent seniors



This parcel, located at 608 Arlington Avenue, has an assessed fair market value of less than \$20,000



This house on Gower Street has both a cracked foundation and a rotted roof.

should be developed at Harlem Square, with a wider continuum of care being offered for seniors at the rehabilitated and preserved Gower Street School. The old playing field at the Gower School serves as an excellent site for new single-family detached housing for young homeowners. Adjacent to the Reedy River Corridor, the higher-density development of Birnie Pointe will create space for urbanites that want to live in a community while still remaining close to downtown and the active lifestyle the Corridor will someday achieve.

Pendleton

As the subdistrict that includes the West Greenville Business District and the other businesses along Pendleton Street, the West Greenville Master Plan recommends the maximum allowable residential densities and above to create a transit and commercially oriented mixed-use community. As outlined in the City Council approved Market Study for Dunbar, Academy and Pendleton Streets, to support the existing retail establishments and recruit new neighborhood commercial retail to the area, the densities must be substantially increased.

A large-scale beautification project should be undertaken to create a tree-lined downtown atmosphere for Pendleton Street, while adding a strong residential (row house and townhouse) character with a lot of street appeal. Lesser streetscaping should be undertaken on Burdette and Traction Streets while the clear street edge and higher density is maintained along these streets. The West Greenville Business District should be enhanced and protected to create both neighborhood commercial and niche businesses to service the community and act as an employment center.

E. Implementation

Implementation of the West Greenville Master Plan will be a complex, long-term process requiring extraordinary cooperation among the private and public sectors, local institutions, stakeholders, and many others. The two primary elements of the Master Plan's implementation strategy are:

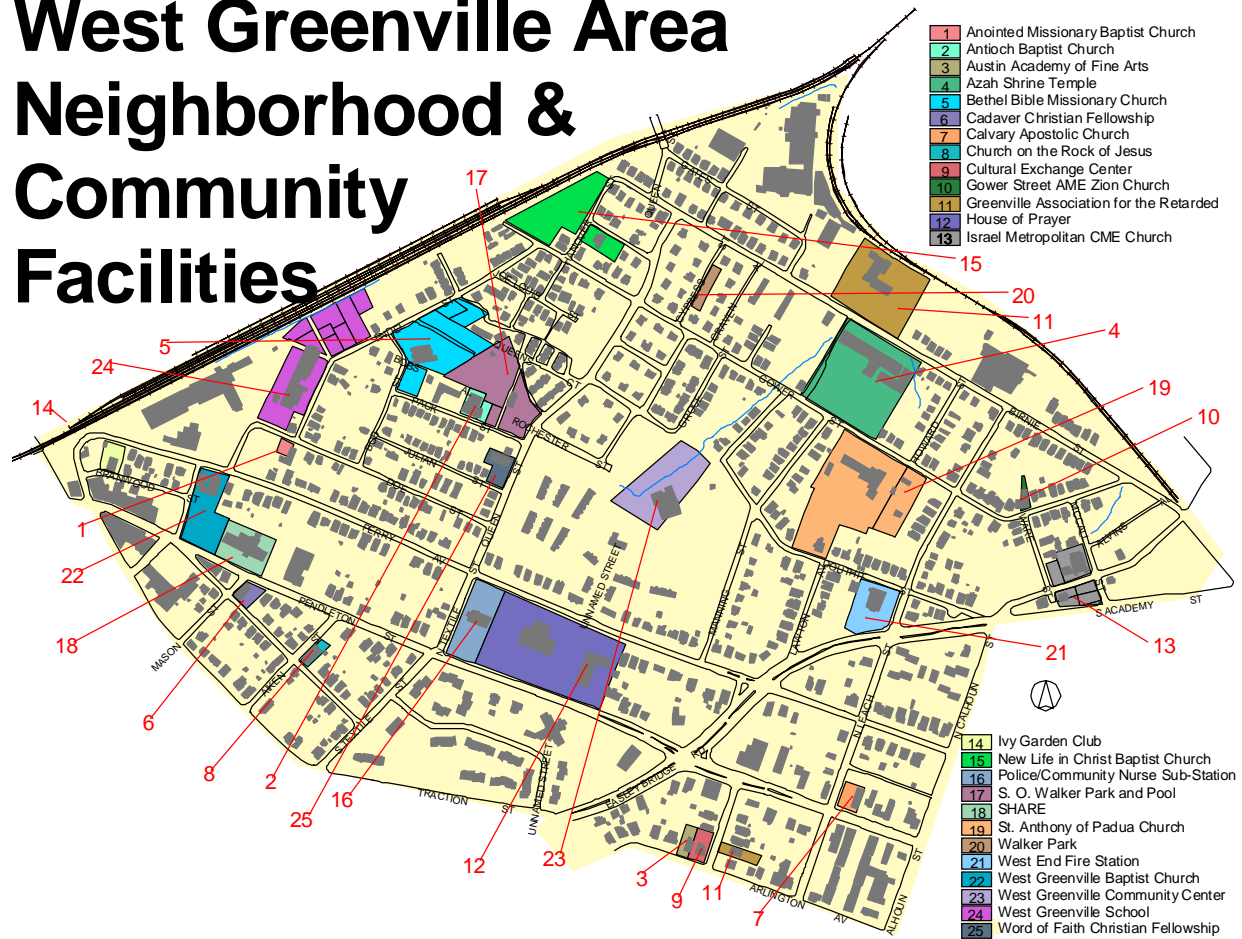
Public and Private Sector Adoption of the Master Plan

The West Greenville Master Plan should be supported by the City of Greenville by adopting it as an element of the current comprehensive plan, or perhaps as a district plan. Additionally, the City of Greenville should adopt a new zoning overlay district that would be subject to specific zoning requirements and design review guidelines that encourage the intended type, density and quality of development and improvements within the West Greenville neighborhood.

Implementation and Funding

The implementation strategy calls for a coordinated approach to develop-

West Greenville Area Neighborhood & Community Facilities



ment in the West Greenville neighborhood, including land acquisition of key parcels to assemble sites for development, a wide variety of parkland and infrastructure improvements, and a comprehensive funding program for recommended improvements throughout the West Greenville neighborhood.